



Heritage Development Guidelines

ACKNOWLEDGEMENT

Singleton Council acknowledges the Wanaruah, Wonnarua people and their custodianship of the Land in the Singleton Local Government Area. We also acknowledge all other Aboriginal & Torres Straight Islanders who live within the Singleton Local Government Area and pay our respect to Elders past present and future.

DISCLAIMER

It should also be noted that in the event of any inconsistency between this document and any Act associated Legislation, Regulations, EPI, DCP that those document prevails.

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INTRODUCTION

1.1 Application

This document applies to all heritage items, including heritage conservation areas to which clause 5.10 in Singleton Local Environmental Plan 2013 (Singleton LEP 2013) applies. This part includes:

- General requirements for alterations and additions to listed heritage items or buildings in a heritage conservation area;
- General requirements for new buildings in heritage conservation areas;
- Requirements in relation to signage on listed heritage items or buildings in heritage conservation areas; and
- Requirements in relation to subdivision in heritage conservation areas.

Matters relating to Aboriginal heritage significance are addressed in clause 5.10(8) of Singleton LEP 2013, but are not specifically addressed in this Guideline.

It should be noted that a number of terms relating to heritage are defined in Singleton LEP 2013 for the purpose of interpreting clause 5.10 and this Guideline.

1.2 Purpose

The purpose of this guideline is to provide explanation and guidance on Council's requirements in relation to heritage and conservation matters. Clause 2.19 (5) of Singleton Development Control Plan 2014 allows for council to prepare guidelines to inform decisions regarding building form elements of heritage items. As a general rule, the greater the significance of the item or the potential impacts of the proposal, the more detail should be provided at development application stage. This document will give clear direction to applicants and Council staff with respect to heritage matters.

This document is provided as a guide only and as a result is not statutory in nature. In the event of any inconsistency between this document and Singleton Local Environmental Plan (LEP) 2013 or Singleton Development Control Plan (DCP) 2014 those documents (LEP or DCP) would prevail.

1.3 Need for a Consultant

For simple development proposals, documentation can be prepared by the building owner or manager. Assistance can be sought from Council staff including Planning and Development staff, Council's Heritage Officer or the NSW Heritage Office where necessary. For more complex proposals which are likely to have a major impact on the heritage significance of an item or a conservation area, the use of suitably qualified and experienced specialist heritage consultants is required.

Council should be consulted to determine the specific requirements of a proposal.

1.4 Heritage Management Documents

Clause 5.10(5) of Singleton LEP 2013 provides for a consent authority to request the preparation of a heritage management document to assist in the assessment of a development application. A brief summary of heritage management documents which may be requested are detailed below:

1.4.1 HERITAGE IMPACT STATEMENT

A Heritage Impact Statement (HIS) analyses the impact that proposed works will have on a heritage item or conservation area and is usually prepared by a heritage specialist with reference to a Statement of Heritage Significance. The HIS will often form part of the Statement of Environmental Effects (SEE) as required for a development application and should enable Council to make an informed decision about the impact of a proposal. In particular, the HIS should address:

- Why the item or area is of heritage significance;
- What impact the proposed works will have on that significance;
- What measures are proposed to mitigate negative impacts;
- The range of solutions considered and evaluated, and why more sympathetic solutions are not viable.

The HIS should include a schedule of works for alterations and additions to a heritage item. The schedule of works itemises works proposed, cross referencing works with drawings and should include external finishes, materials and colours.

The NSW Heritage Manual "Statements of Heritage Impact" should be adopted for the purpose of preparing the HIS.

1.4.2 HERITAGE CONSERVATION MANAGEMENT PLAN

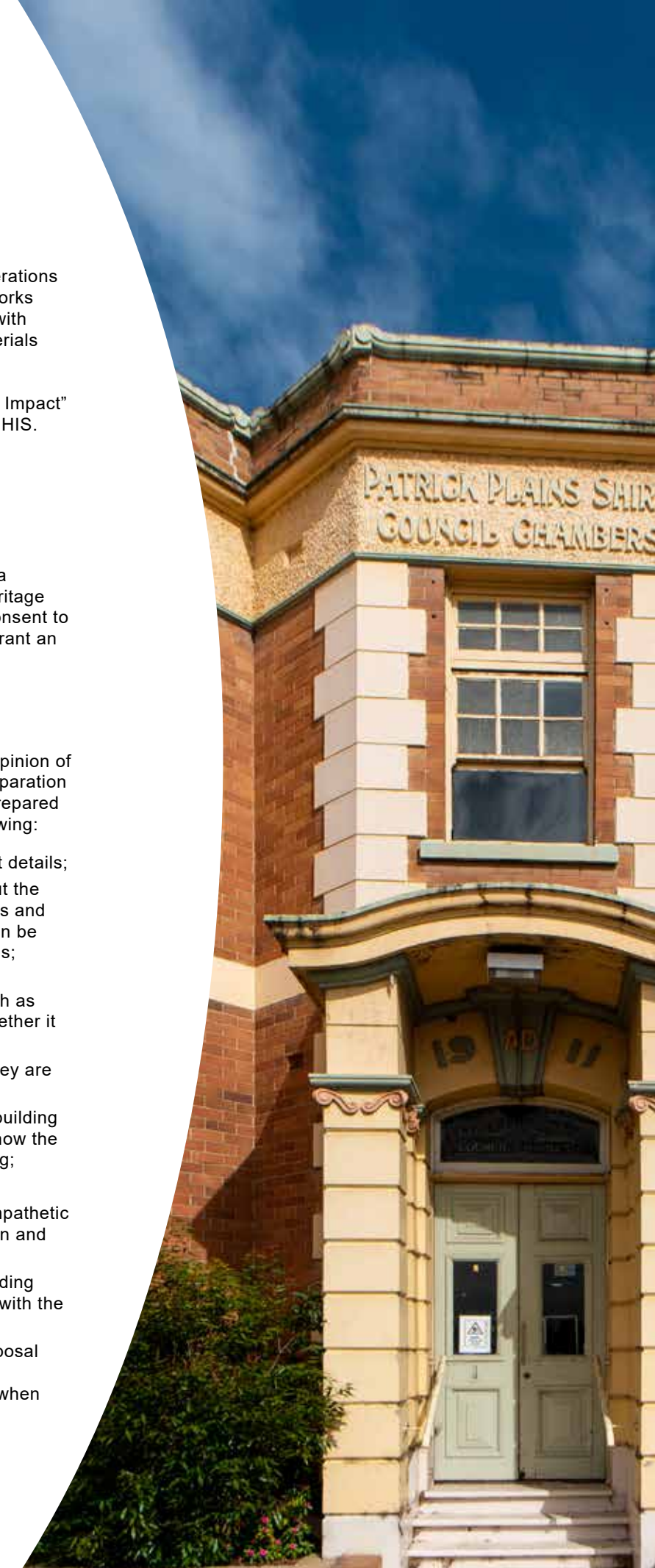
Clause 5.10(6) of Singleton LEP 2013 provides for a consent authority to require the submission of a Heritage Conservation Management Plan, before granting consent to an application, where the findings from the HIS warrant an additional conservation outcome.

1.4.3 CHARACTER ASSESSMENT

A Character Assessment is required, where in the opinion of Council, the proposed works do not warrant the preparation of a formal HIS. A Character Assessment may be prepared by the applicant/owner and should include the following:

- Property description, authors name and contact details;
- How old is the building and what is known about the history of the building is on which the alterations and additions are being carried out. Building age can be ascertained from documents such as Land Titles;
- Describe the main architectural features and characteristics of the building. List features such as roof style (ie hipped, gabled), window style, whether it has a verandah;
- Describe the surrounding buildings and what they are used for;
- Outline the alterations proposed and what the building will be used for if the use is changing. Outline how the proposal will improve the function of the building;
- List any previous work if appropriate;
- Describe how the changes being made are sympathetic to the original building. Are the materials, design and colour compatible with the original structure?;
- Describe the impact of the proposal on surrounding development. How are the changes in keeping with the character of the locality;
- Review setting and curtilage and impact of proposal

Setting and curtilage is an important consideration when planning modifications to heritage properties.



1.4.4 ENGINEERING ASSESSMENT

An Engineering Assessment will be required where the works proposed on a heritage item are needed because part, or all, of the item is beyond repair or unstable. An Engineering Assessment may also be required for partial or total demolition of components within a Heritage Conservation Area.

Preparation of an Engineering Assessment must be undertaken by a suitably qualified Structural Engineer with heritage related experience. The Engineering Assessment should include the following:

- Details of all structural problems and likely cause;
- Range of solutions considered and what is most appropriate in the opinion of the Engineer; and
- Where alternatives are rejected, reasons should be provided.

If demolition is recommended, detailed engineering justification will be required.

1.4.5 ARCHAEOLOGICAL ASSESSMENT

An initial assessment may be required by Council for non-listed sites which are considered likely to contain relics because of their location or use, or where it is unclear whether a development proposal is likely to impact on the archaeological features of a listed site. The initial assessment will determine whether a site warrants further investigation ie a full Archaeological Assessment. The level of investigation needed for an initial assessment would typically include:

- A review of available historical information;
- A field survey/site inspection;
- Preliminary conclusions about archaeological potential;
- Preliminary significance assessment; and
- Manage recommendations including recommendations for further work.

An Archaeological Assessment will be required for any proposal which will disturb the surface of an Archaeological Site or Potential Archaeological Site. An Archaeological Assessment is a study to evaluate the probable extent, nature and integrity of the archaeological resource at a site, determine the significance of that resource and define appropriate management solutions for the resource taking into account its significance and statutory requirements.

Applicants must determine through pre-application consultation with Council whether an Archaeological Assessment will be required.

1.4.6 ARCHIVAL OR PHOTOGRAPHIC RECORD

An Archival or Photographic Record may be required to document the existing structure if parts of a heritage item are proposed to be altered. The archival recording in some cases may benefit from 3D terrestrial scanning, photogrammetry or similar processes.

1.4.7 HISTORIC PHOTOGRAPHS OR DRAWINGS

Historic Photographs or drawings may be required where the intention is to restore the item back to its original state.



Setting and curtilage is an important consideration when planning modifications to heritage properties

GENERAL REQUIREMENTS FOR ALTERATIONS + ADDITIONS

Clause 5.10(5) of Singleton LEP 2013 provides for a consent authority to request the preparation of a heritage management document to assist in the assessment of a development application. A brief summary of heritage management documents which may be requested are detailed below:

2.1 Design

2.1.1 PERFORMANCE CRITERIA

To ensure that new alterations and additions respect, and are in keeping with the architectural character and style of the existing building and surrounding area;
To maintain and enhance the existing character of the street and locality.

2.1.2 ACCEPTABLE SOLUTIONS

An alteration or addition must take into account the existing characteristics of the building and fit the surrounding context;

- Alterations and additions should be sympathetic to the existing building in terms of scale, proportion and materials, but readily identified as new work on close inspection;
- Key design elements on existing buildings such as chimneys, windows and gables should be retained;
- Mock historical details should not be applied as they can confuse the understanding between what is old and what is new.



Traditional cottage with modern extension

2.2 Siting, Setback and Orientation

2.2.1 PERFORMANCE CRITERIA

To maintain and enhance the character and visual setting of the street and surrounding area;
To ensure that alterations and additions are in keeping with established patterns of subdivision, allotment layout, landscaped settings, car parking and fencing;

To ensure that those elements which contribute towards a positive relationship between buildings and their sites are retained and not devalued.

2.2.2 ACCEPTABLE SOLUTIONS

Alterations and additions should generally occur at the rear to minimize visual impact on the street frontage of the building;

- Rear additions should be stepped back from side building lines where an existing side setback is greater than 900mm;
- Front and side setbacks should be typical of spacing between buildings located in the vicinity of the new development;
- Extensions to the side elevation are not permitted where they will alter established patterns of building and garden;
- The separate architectural treatment of larger, more visible additions should be considered to contrast with the character of the original building;
- An adequate area around the building including landscaping, fencing and significant trees should be retained;
- The orientation of existing buildings should be maintained;



A corner block often addresses both frontages in terms of orientation, siting and setback



Pavilion extension where the front building form is repeated at the rear. A glazed connection can help separate the old from the new.

George Alexander

2.3 Size and Scale

2.3.1 PERFORMANCE CRITERIA

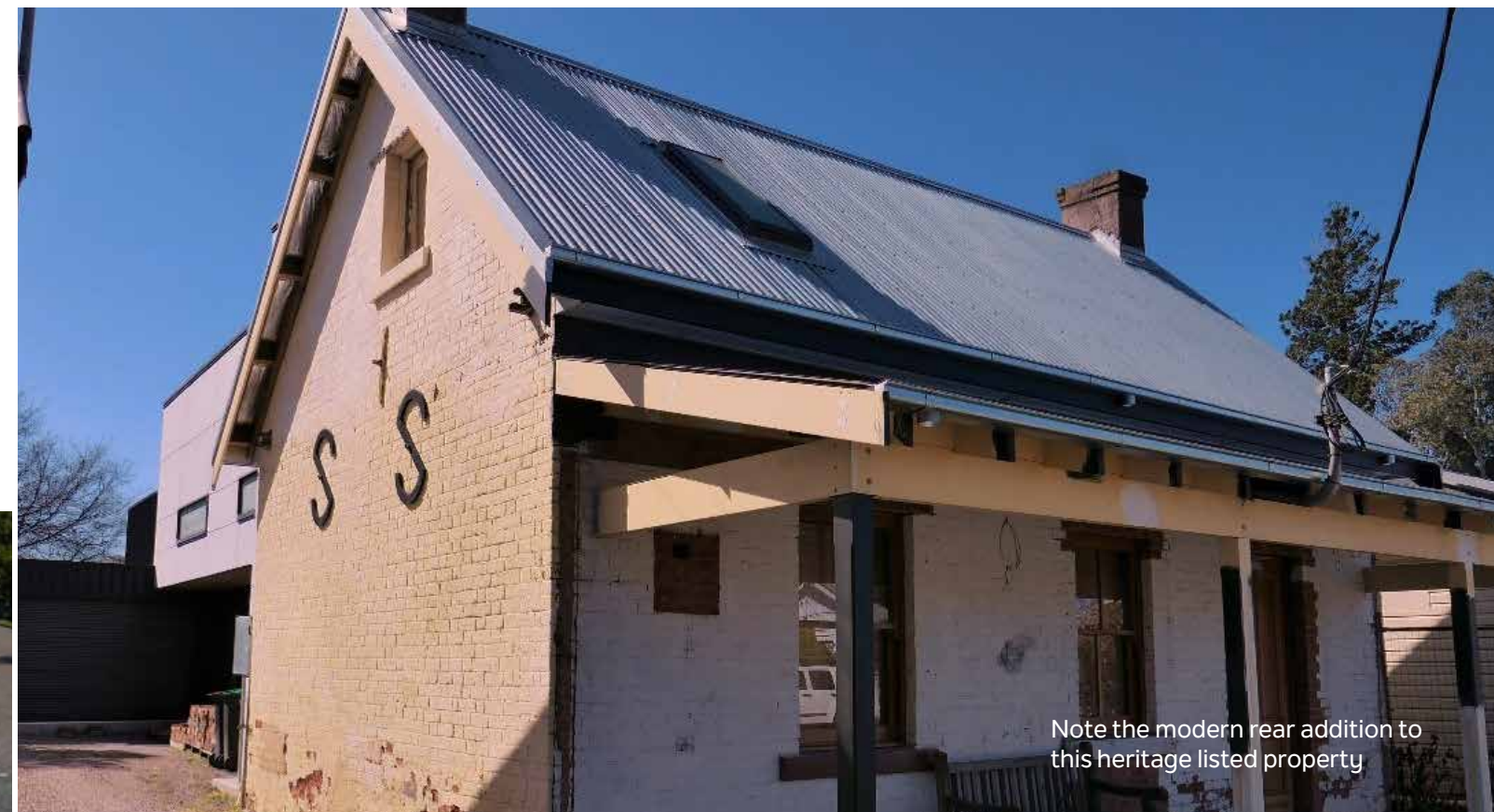
- To ensure that new alterations and additions respect the character of the building and surrounding area.

2.3.2 ACCEPTABLE SOLUTIONS

- An alteration or addition should not be of a size or scale which dominates the existing building or detracts from its original identity or character, or character of the surrounding built context;
- New uses should suit the size of the building and not require overwhelming changes.



Rear addition in keeping with size and scale and character of existing dwellings



Note the modern rear addition to this heritage listed property

2.4 Roof form and shapes

2.4.1 PERFORMANCE CRITERIA

- To retain the character, scale and massing of existing roof forms on heritage items and within conservation areas.

2.4.2 ACCEPTABLE SOLUTIONS

Additional roof forms should visually integrate with existing;

- Roof pitch, ridge height, height of parapet and eaves on additions and materials should be sympathetic with those of the original building;
- Dormer windows should be set into the roof plane and proportioned to enhance the visual character of the existing building and streetscape;
- Skylights and solar panels should not be located where they are visually prominent;
- Service utilities such as water heaters, air conditioning units, antennae, satellite dishes must not be located on the principle elevations of buildings.



2.5 Shopfronts

Shopfronts are important as they reflect the distinctive character and style of heritage items and significant buildings and contribute directly towards the quality of the public domain and pedestrian experience. Original shopfronts usually complement other architectural features of a building and should be retained or reinstated.

2.5.1 PERFORMANCE CRITERIA

- To retain original shopfronts which contribute to the heritage significance of a building and surrounding locality;
- To ensure new shopfronts contribute positively to the character of the street.

2.5.2 ACCEPTABLE SOLUTIONS

- Original shopfronts should be retained;
- Where original shopfronts have been replaced by an unsympathetic addition, their reinstatement should be encouraged;



2.6 Materials and Colours

2.6.1 PERFORMANCE CRITERIA

- To ensure that materials and colours used in alterations and additions respect the significance and character of the building and surrounding area;

2.6.2 ACCEPTABLE SOLUTIONS

Traditional combinations of materials used in heritage buildings should be considered when designing additions;

- Complementary materials on additions should be encouraged when they enhance an understanding and interpretation of the changes;
- Timber windows should be retained in existing buildings;
- Roof materials should, where possible match existing;
- Traditional stepped flashings, roof vents, gutter moulds and rainwater heads should be used;
- New face brickwork should match the existing in terms of colour and texture;
- Existing face brick or stone on heritage items or buildings in a conservation area should remain match existing;
- Imitation timber cladding should be carefully considered for additions visible from the street;
- Additions should include colour schemes which complement or enhance traditional colour schemes;
- Plain or stamped concrete driveways should be avoided. Preferred materials include wheel strips and gravel.



2.6.3 DESIGN OF NEW DETAIL AND OPENING

2.6.3.1 PERFORMANCE CRITERIA

- To ensure the character and pattern of new door and window openings in alterations and additions is compatible with the appearance of the original building.

2.6.3.2 ACCEPTABLE SOLUTIONS

- New openings and detail should fit the symmetry and character of the original building design and use materials which complement the original fabric;



2.6.4 EVIDENCE FOR AUTHENTIC RECONSTRUCTION

2.6.4.1 PERFORMANCE CRITERIA

- To ensure that reconstruction enhances or offers clues to known significant elements of a building or locality.

2.6.4.2 ACCEPTABLE SOLUTIONS

- Reinstatement of significant features should be in previous arrangements and positions and done using similar materials to the existing;
- Reinstatement should be identifiable as new work but not be intrusive.

2.6.5 REMOVAL OF UNSYMPATHETIC ALTERATIONS AND ADDITIONS

2.6.5.1 PERFORMANCE CRITERIA

- To ensure that contributions of all periods to a place are respected;
- To ensure that removal of any built fabric only occurs when it is not significant, and reveals previous fabric of greater significance.

2.6.5.2 ACCEPTABLE SOLUTIONS

- Additions which are clearly out of character with the original design may be removed.

2.6.6 SERVICES AND NEW TECHNOLOGIES

2.6.6.1 PERFORMANCE CRITERIA

- To minimise any obtrusive effect of new building services and technical equipment.

2.6.6.2 ACCEPTABLE SOLUTIONS

- Exhaust vents, skylights, air conditioning ducts and units, solar panels, TV antennae and satellite dishes should be hidden as far as possible on heritage items and in conservation areas.

2.6.7 LANDSCAPING

2.6.7.1 PERFORMANCE CRITERIA

- To ensure that planting does not affect important views in conservation areas;
- To maintain a rhythm of planting, gardens, open spaces and landscape character in a heritage streetscape;

2.6.7.2 ACCEPTABLE SOLUTIONS

- When selecting suitable trees, consideration should be given to varieties that already exist in the area, size at maturity, the potential to interfere with existing services, retaining walls and other structures;
- Garden structures should be appropriate to main buildings in terms of scale, style and materials;
- When designing new gardens, settings for houses of different styles and periods should be considered by making reference to appropriate heritage garden books.



2.6.8 FENCES

2.6.8.1 PERFORMANCE CRITERIA

- To retain original fencing and provide for new fencing which is consistent with the character of existing fencing.

2.6.8.2 ACCEPTABLE SOLUTIONS

- Original fences should be retained;
- Fences should generally be open or transparent;
- Fences should be of a scale comparable with the street;
- Front fences should be of materials characteristic to the street and suitable to the era of the house. Examples include timber picket, low masonry and hedges;
- Plain or colour treated metal fences are able to be used in conservation areas or heritage items where street amenity is not impacted;



2.6.9 GARAGES, CARPORTS AND SHEDS

2.6.9.1 PERFORMANCE CRITERIA

- To ensure that garages, carports and sheds do not visually detract from the character of the conservation area or heritage item.

2.6.9.2 ACCEPTABLE SOLUTIONS

- Garages and car ports should preferably be detached and located at the rear;
- Garages and car ports should be constructed of material which will complement the existing building;
- Garages should be set back a minimum of 500mm from the side and rear boundary;
- Garages and car ports should make reference to any established historic patterns in the street;
- Garages should have simple hipped gable or skillion roofs depending on the design of the existing main building.
- Existing outbuildings should be maintained and reused where ever possible;
- Light open construction carports are preferable to solid structures.



GENERAL REQUIREMENTS FOR NEW BUILDINGS IN CONSERVATION AREAS

This part details how new buildings can be designed and located to maintain the character and setting of existing buildings in historic areas. This part relates to wholly new development on the site of a heritage item, on vacant land within a conservation area or on land which is in the vicinity of heritage items or conservation areas.

It is important that the scale and siting of new development does not detract from the scale, form unity and character of the surrounding locality.



3.1 Siting a New Building

3.1.1 PERFORMANCE CRITERIA

- To ensure that the siting of new buildings respects the significance and character of the surrounding area

3.1.2 ACCEPTABLE SOLUTIONS

- New development should consider the established patterns of existing buildings in the locality, including location and orientation;

- New development should be sited behind the building line of any adjoining heritage item.

3. Scale

3.2.1 PERFORMANCE CRITERIA

- To ensure the scale of new buildings respects the significance and character as well as the established pattern of development in the surrounding locality;

3.2.2 ACCEPTABLE SOLUTIONS

- New buildings should be of a similar scale to existing;
- The scale of a new dwelling should relate to the size of the allotment. Large houses on small allotments will visually dominate the surrounding area;
- Significant or landmark buildings which may be heritage items should generally be surrounded by buildings of a lesser scale. Significant buildings should also not be used as a precedent for increasing the scale of new buildings;

3.3 Proportions

Proportion and composition of building facades creates patterns or rhythms which can inform streetscape character. Openings are important elements in building appearance.

3.3.1 PERFORMANCE CRITERIA

- To ensure that the proportions of new buildings respect the character of the surrounding area.

3.3.2 ACCEPTABLE SOLUTIONS

- New buildings should reference important design elements of nearby development including but not limited to proportions, openings, verandahs and chimneys, even when using modern materials;
- Openings visible from the street should retain a ratio of solid to void which reflects that of original buildings in the locality.

3.4 Setbacks

3.4.1 PERFORMANCE CRITERIA

- To ensure that the setbacks of new buildings reflect the character of the surrounding area.

3.4.2 ACCEPTABLE SOLUTIONS

- Uniform, historically based setbacks should be considered;
- New buildings should be complimentary to adjoining building setbacks;
- Setbacks from side boundaries should reflect the prevailing side setbacks in the locality.

3.5 Form and Massing

Form and massing relates to the overall shape of a building and the arrangement of its parts. Key elements of mass in buildings include roofs, facades and verandahs. The size, shape and pattern of the roof is one of the most important elements of the design of a new building in a conservation area.

3.5.1 PERFORMANCE CRITERIA

- To ensure the form and massing of new buildings respect the character of the surrounding area.

3.5.2 ACCEPTABLE SOLUTIONS

- New buildings should be sympathetic to the predominant form and massing which characterises the area;
- New roofs should generally retain the same ridge height as adjoining dwellings.



3.6 Landscaping

3.6.1 PERFORMANCE CRITERIA

- To ensure new landscaping reflects existing significant elements of the locality.

3.6.2 ACCEPTABLE SOLUTIONS

- Substantial green landscaped areas should be provided at the front of new dwellings;
- New landscaping should enhance the visual appreciation of significant building aspects or contributory facades;
- Existing significant or contributory landscaping should be retained.

3.7 Building Elements and Materials

3.7.1 PERFORMANCE CRITERIA

- To ensure that materials and their colours positively influence how a new building fits the character of the locality.

3.7.2 ACCEPTABLE SOLUTIONS

3.7.2.1 DOORS AND WINDOWS

- The proportions of new doors and windows should relate to typical openings in the locality;
- Doors with recessed panels are generally appropriate; and
- Vertically oriented windows, generally used in older houses should be used. Most suitable windows are double hung, casement, awning or fixed type.

3.7.2.2 ROOFS

- Corrugated galvanized iron is most appropriate roofing material for new buildings in historic areas;
- Tiles may be appropriate in areas with buildings dating 1900s to 1930s.

3.7.2.3 PAVING

- Preferred materials for driveways include gravel and wheel strips;
- Driveways should not visually dominate front garden areas.

3.7.2.4 WALLS

- Cladding materials which imitate materials such as brick, stone and weatherboard should be avoided since they detract from the character of surrounding dwellings;
- 150mm weatherboards are generally appropriate for historic areas.
- Plain non-mottled bricks are preferable.

3.8 New Commercial Buildings in Historic Areas

In addition to the above, new development in commercial precincts within Conservation Areas or adjacent to Heritage Items should ensure that:

- Service structures and plant and equipment within a site should be an integral part of the development;
- Facilities for loading and unloading are screened from public view;
- Roof forms and parapets are compatible with the character of existing roof forms;

3.9 New Development in Vicinity of Heritage Items

3.9.1 PERFORMANCE CRITERIA

- To ensure that new buildings or structures provide an appropriate setting for an adjoining heritage item so that its historical context and heritage significance are retained.



3.9.2 ACCEPTABLE SOLUTIONS

- Development should respect and complement the built form character of those items in terms of scale, setback, siting, materials finishes and colour.
- New development in rural areas, should be of a scale and sited so as not to negatively impact on existing view corridors and landscape settings.



SIGNAGE

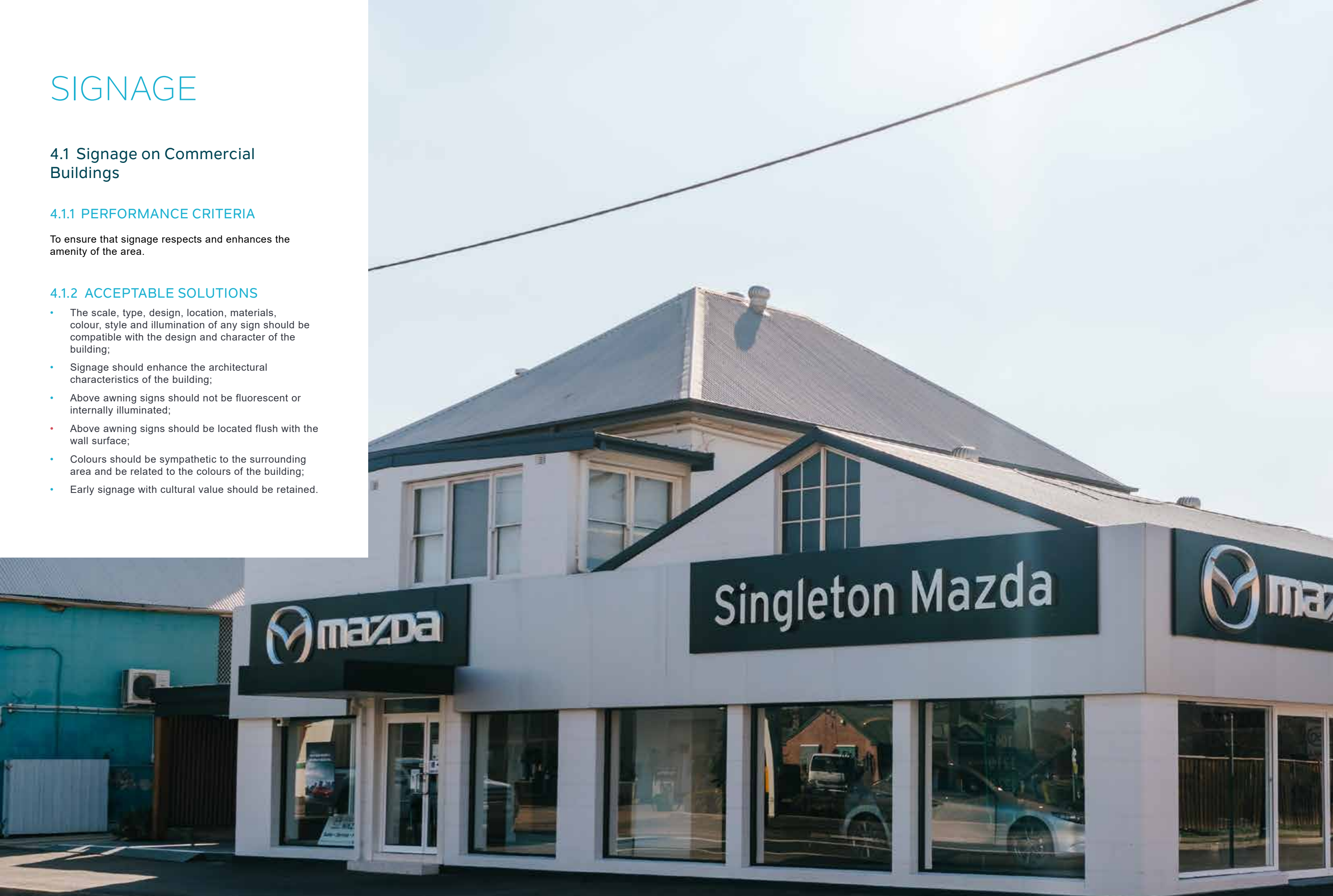
4.1 Signage on Commercial Buildings

4.1.1 PERFORMANCE CRITERIA

To ensure that signage respects and enhances the amenity of the area.

4.1.2 ACCEPTABLE SOLUTIONS

- The scale, type, design, location, materials, colour, style and illumination of any sign should be compatible with the design and character of the building;
- Signage should enhance the architectural characteristics of the building;
- Above awning signs should not be fluorescent or internally illuminated;
- Above awning signs should be located flush with the wall surface;
- Colours should be sympathetic to the surrounding area and be related to the colours of the building;
- Early signage with cultural value should be retained.



SUBDIVISION OF LAND

The size and shape of lots, width of streets and footpaths can influence the character and appearance of a locality and reflect its history. Subdivision proposals in conservation areas have the potential to change the character of the area and require careful consideration.

5.1 Performance Criteria

To ensure that the subdivision of land respects the heritage significance of the item or conservation area with respect to the siting and design of proposed built forms.

5.2 Acceptable Solutions

- The proposal should not substantially alter the character of existing development such that it would be compromised;
- Frontage widths, side and front boundary setbacks should be typical of surrounding development such that;
 - Vistas and views to and of any heritage items in the vicinity are not interrupted;
 - Landscape and streetscape quality is maintained or enhanced;
 - A satisfactory curtilage is maintained for important garden and landscape elements;
- Details of any required works and services such as kerb and gutter, access design should be consistent with existing original elements.





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